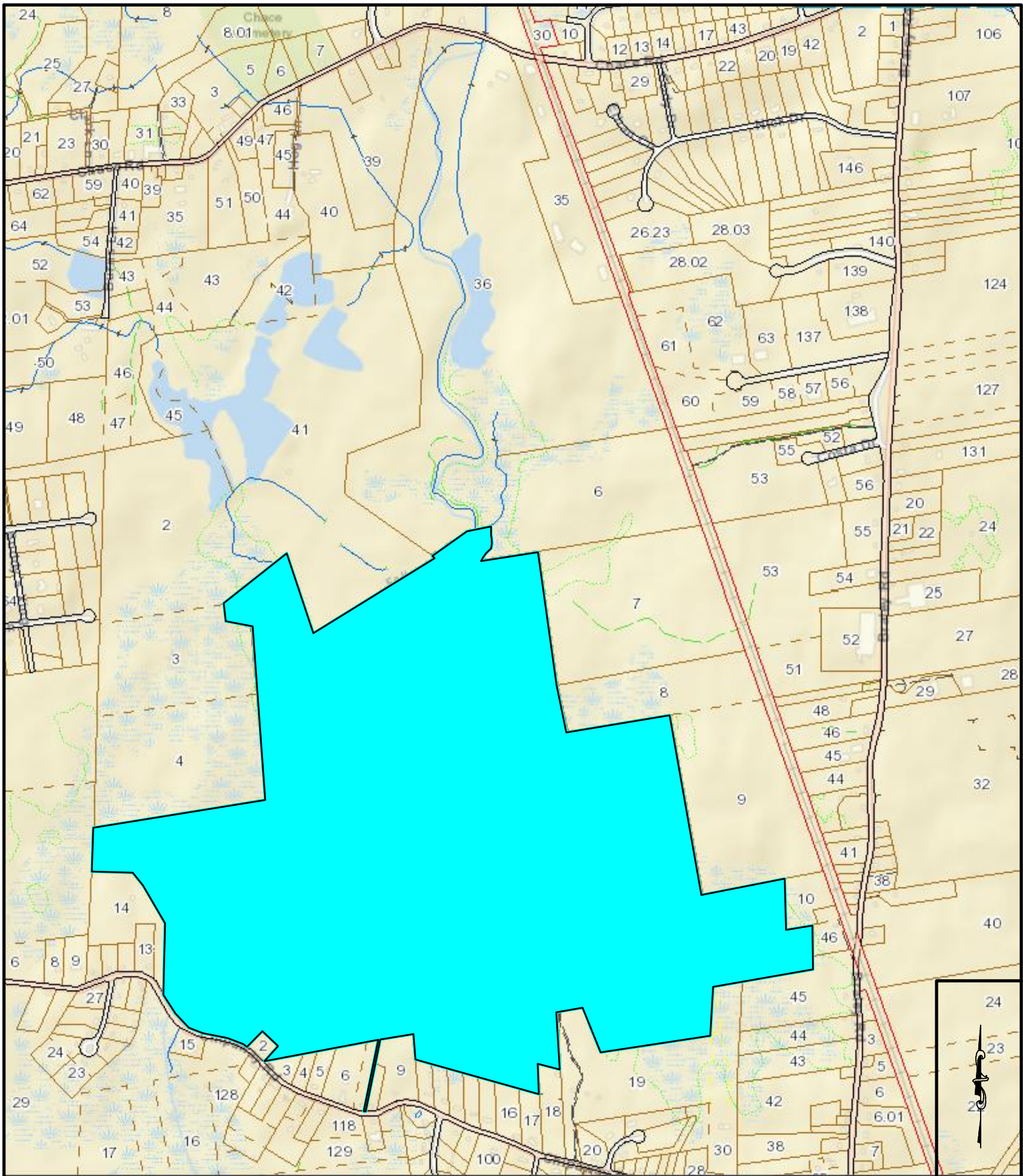


SITE DEVELOPMENT PLAN OFF CHIPAWAY ROAD FREETOWN, MASSACHUSETTS

APPLICANT:
JUSTIN ALVES
JUST SOLAR, LLC.
2ND FLOOR UNIT 7
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02745

OWNER:
CHIPAWAY CORPORATION
P.O. BOX 519
E. WAREHAM, MA 02538

ENGINEER/SURVEYOR:
E. T. ENGINEERING ENTERPRISES, INC.
CIVIL ENGINEERS & CONSTRUCTION MANAGERS
481 BEDFORD STREET (RTES. 18 & 28)
BRIDGEWATER, MA 02324-3152
PHONE: (508)-697-5215 FAX: (508)-697-1451
WWW.ETENGINEERING.COM



LOCUS PLAN
SCALE: 1" = 1000'

TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

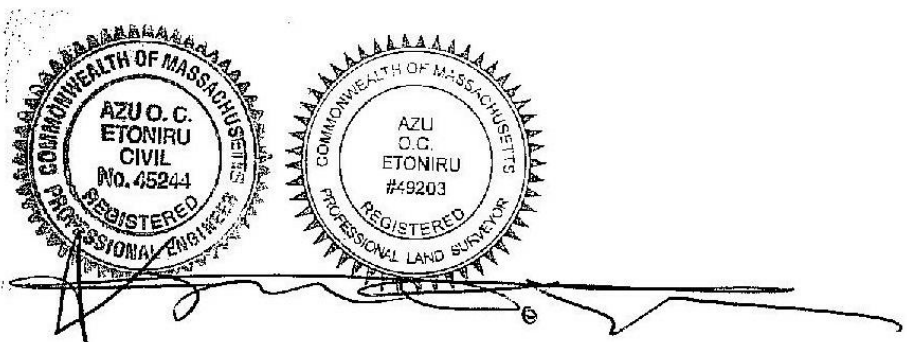
DATE :

INDEX OF DRAWINGS

PLAN TITLE	SHEET NO.
COVER SHEET	C-1
EXISTING CONDITIONS	C-2
AREA INDEX	C-3
AREA A	C-4
AREA B	C-5
AREA C	C-6
INTERCONNECTION PLAN	C-7
WATERSHED PLAN SECTION 1 & 2	C-8
WATERSHED PLAN SECTION 3 & 4	C-9

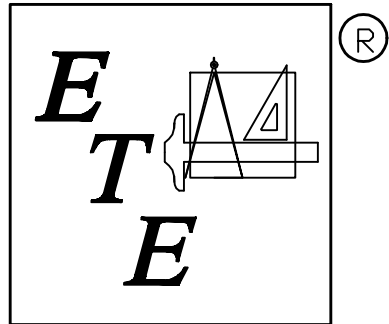
(ASSESSORS MAP: 252 LOT: 001, MAP: 247 005)
FREETOWN, MASSACHUSETTS
(BRISTOL COUNTY)

DATE: OCTOBER 23, 2020
REV: FEBRUARY 23, 2021

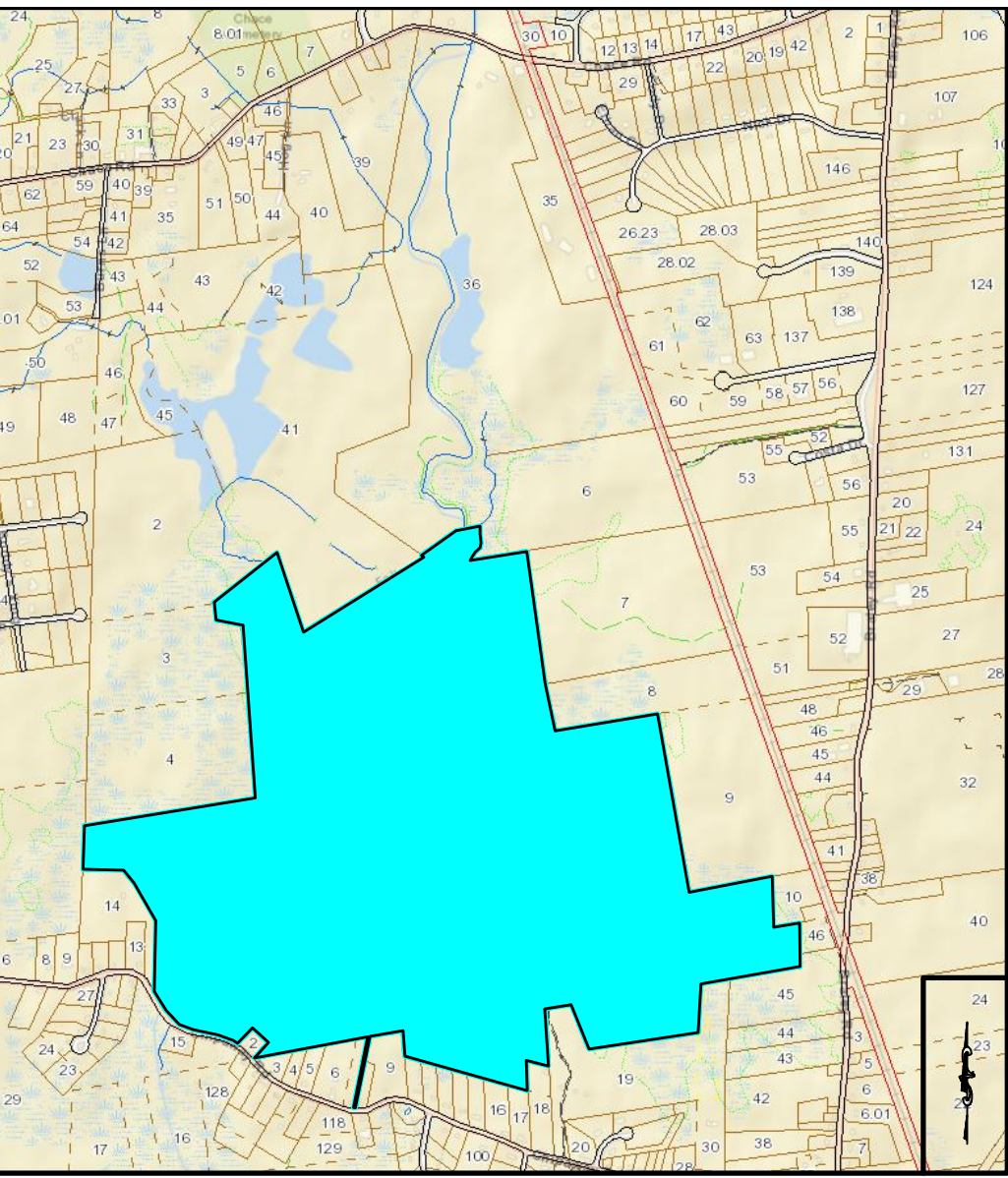


AZU O. C. ETONIRU, P.E., P.L.S.
MA REGISTERED PROFESSIONAL ENGINEER #45244
MA REGISTERED PROFESSIONAL LAND SURVEYOR #49203

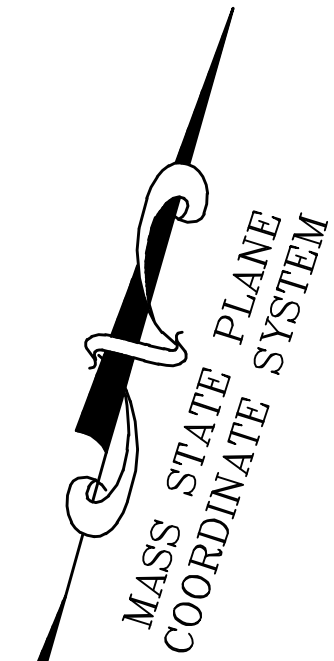
C-1



FILE: 0626-007
DRAWING COVER



LOCUS PLAN
SCALE: NTS



LEGEND

EXISTING

BF-211

BF-212

KT-42

KT-43

100' INNER RIPARIAN BOUNDARY

200' OUTER RIPARIAN BOUNDARY

25' WETLANDS SETBACK

50' WETLANDS SETBACK

100 FT. JURISDICTIONAL LINE

TREE LINE

CONTOUR

TEST PIT LOCATION

BARB WIRE FENCE

CHAIN LINK FENCE

BANK LINE

BORDERING VEGETATED WETLANDS LINE

FLOODPLAIN LINE

100' INNER RIPARIAN BOUNDARY

200' OUTER RIPARIAN BOUNDARY

25' WETLANDS SETBACK

50' WETLANDS SETBACK

100 FT. JURISDICTIONAL LINE

TREE LINE

CONTOUR

TEST PIT LOCATION

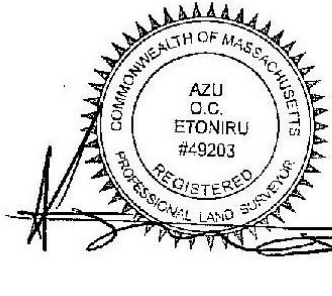
BARB WIRE FENCE

CHAIN LINK FENCE

GENERAL NOTE(S):

- THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF THE TITLE TO THE PROPERTY DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS OF THE LOCUS AND ABUTTING LANDS ARE TAKEN FROM THE CURRENT ASSESSORS TAX LIST, AND/OR RECORD DEEDS.
- THE BORDERING VEGETATED WETLANDS BOUNDARIES SHOWN HEREON ARE AS DELINEATED ON THE SUBJECT SITE BETWEEN JULY 2019 AND JANUARY 2020 BY KENNETH THOMSON (BOTANIST, WETLAND SCIENTIST); AND APPROVED IN AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE FREETOWN CONSERVATION COMMISSION UNDER FILE NUMBER SE. 026-0641.
- FLOOD ZONE INFORMATION SHOWN HEREON IS AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NUMBER: 25005C0288F AND 25005C0376F, EFFECTIVE DATE: JULY 7, 2009
- REFER TO THE STORMWATER MANAGEMENT REPORT FOR THE SOILS EVALUATION TEST PIT LOGS.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ON THE GROUND INSTRUMENT SURVEY CONDUCTED BY E.T. ENGINEERING ENTERPRISES, INC. THROUGH MAY 19, 2020.



AZU O. C. ETORIRU, P.L.S.
MA REGISTERED LAND SURVEYOR #49203

TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE :

DEED REFERENCES
BRISTOL COUNTY REGISTRY OF DEEDS
(FALL RIVER DISTRICT)

BOOK NO.	PAGE NO.
433	427-429
432	82
456	318-319

PLAN REFERENCES
BRISTOL COUNTY REGISTRY OF DEEDS
(FALL RIVER DISTRICT)

BOOK NO.	PAGE NO.
17	41
11	3
32	35
160	72
64	53
65	3
64	63
118	8
163	4
92	31
79	33
114	13-14
164	33-41

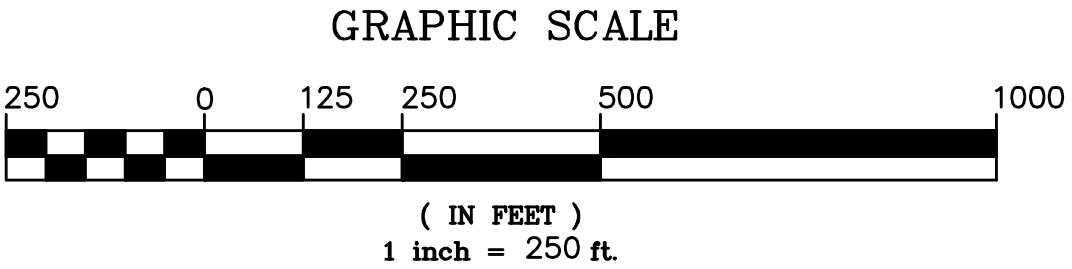
PLAN NO.	YEAR
1409	1948
1844	1954

LAND COURT PLAN 31029A

PLAN RECORDED IN REGISTRY OF DEEDS
BOOK 8195, PAGE 224

OWNER OF RECORD (MAP 252, LOT 1 & MAP 247 LOT 5)

CHIPAWAY CORPORATION
P.O. BOX 519
E. WAREHAM, MA 02538



EXISTING CONDITIONS PLAN

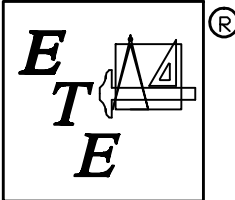
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP 241, LOT 036, MAP 252,
LOT 001, MAP 247, LOT 005)

PREPARED FOR
JUST SOLAR LLC.
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02324

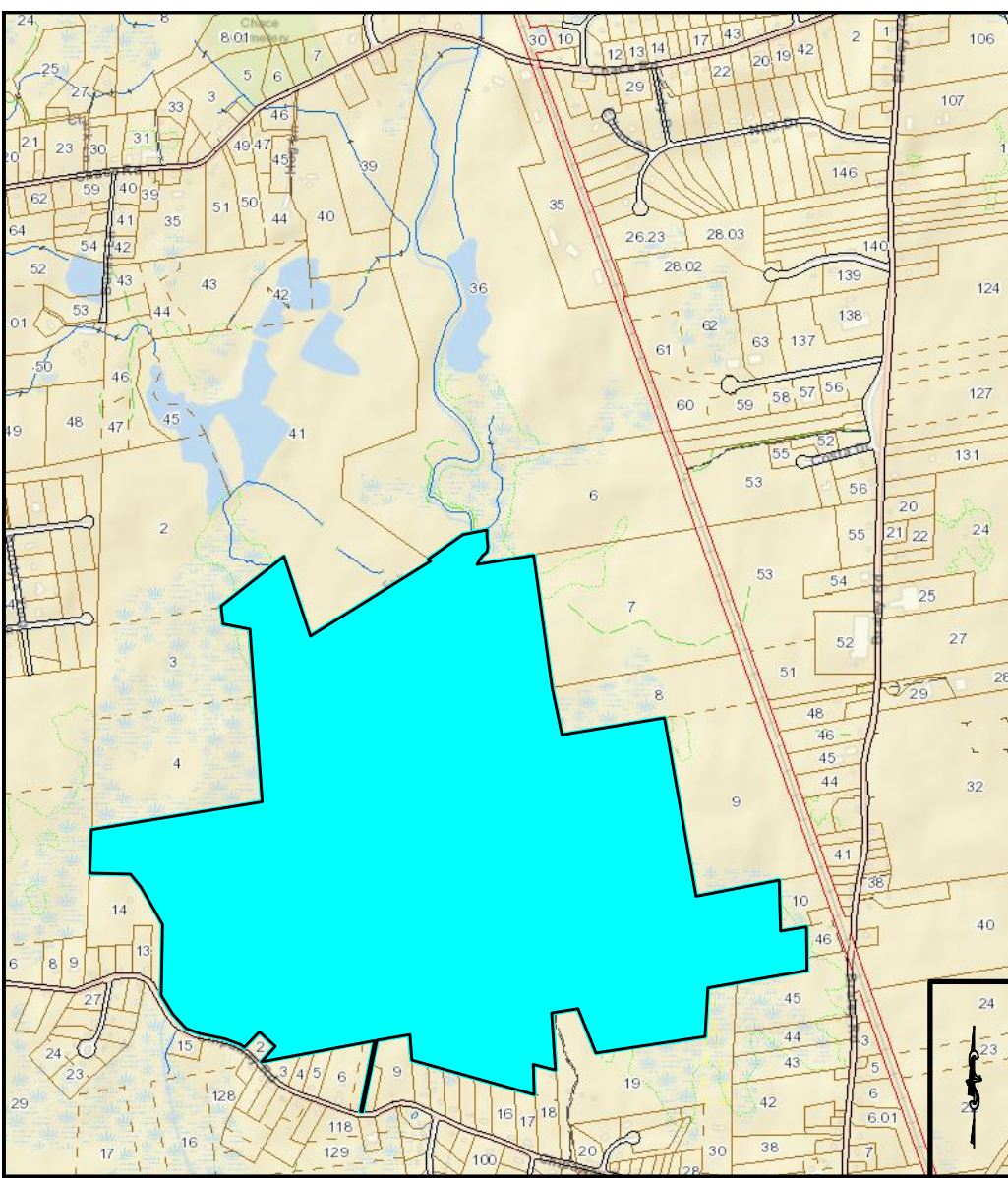
PREPARED BY
E. T. ENGINEERING ENTERPRISES, INC.
PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS
481 BEDFORD ST. (ROUTES 18 & 28)
BRIDGEWATER, MA 02324-3152

PHONE: 508-697-5215 FAX: 508-697-1451
DATE: OCTOBER 23, 2020 SCALE: AS NOTED
REV: FEBRUARY 23, 2021

PROJECT: 0626-007
DRAWING: ARCH D
FILE: /DWG/0626-007_SDP.DWG



C-2



LOCUS PLAN
SCALE: NTS

MASS STATE PLANE
COORDINATE SYSTEM

LEGEND	
EXISTING	PROPOSED
BF-211	BF-212
KT-42	KT-43
100' INNER RIPARIAN BOUNDARY	200' OUTER RIPARIAN BOUNDARY
25' WETLANDS SETBACK	50' WETLANDS SETBACK
100 FT. JURISDICTIONAL LINE	58' EQUINOX TREE SHADING LINE
TREE LINE	CONTOUR
EROSION CONTROL BARRIER	SOLAR PANEL TABLE
TEST PIT LOCATION	CHAIN LINK FENCE

- GENERAL NOTE(S):
1. THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF THE TITLE TO THE PROPERTY DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS OF THE LOCUS AND ABUTTING LANDS ARE TAKEN FROM THE CURRENT ASSESSORS TAX LIST, AND/OR RECORD DEEDS.
 2. THE BORDERING VEGETATED WETLANDS BOUNDARIES SHOWN HEREON ARE AS DELINEATED ON THE SUBJECT SITE BETWEEN JULY 2019 AND JANUARY 2020 BY KENNETH THOMSON (BOTANIST, WETLAND SCIENTIST).
 3. FLOOD ZONE INFORMATION SHOWN HEREON IS AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NUMBER: 25005C0288F AND 25005C0376F, EFFECTIVE DATE: JULY 7, 2009

TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

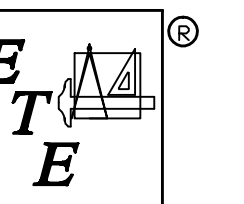
DATE :

ARRAY LAYOUT PLAN
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP 241, LOT 036, MAP 252,
LOT 001, MAP 247, LOT 005)

PREPARED FOR
JUST SOLAR LLC.
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02324

PREPARED BY
E. T. ENGINEERING® ENTERPRISES, INC.
PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS
481 BEDFORD ST. (ROUTES 18 & 28)
BRIDGEWATER, MA 02324-3152
PHONE: 508-697-5215 FAX: 508-697-1451
DATE: OCTOBER 23, 2020 SCALE: AS NOTED
REV: FEBRUARY 23, 2021

PROJECT: 0626-007
DRAWING: ARCH D
FILE: /DWG/0626-007_SDP.DWG



C-3

DESIGN & CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE TOWN OF FREETOWN WATER AND HIGHWAY DEPARTMENTS PRIOR TO COMMENCING ANY EXCAVATION WORK IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PRIVATE OR PUBLIC UNDERGROUND UTILITY WHICH MAY RESULT FROM HIS/HER WORK.
2. THE UTILITY POLES AND OVERHEAD ELECTRIC WIRES SHOWN HEREON ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. A QUALIFIED DESIGNER FAMILIAR WITH UTILITY POLE INSTALLATIONS SHALL PREPARE THE DESIGN FOR THE FINAL LOCATION AND DIMENSIONS OF THE UTILITY POLES ALONG THE INTERCONNECTION ROUTE.
3. A SIGN INDICATING THE SITE OWNER'S NAME AND 24-HOUR EMERGENCY CONTACT TELEPHONE NUMBER SHALL BE PLACED UPON ALL ACCESS GATES AT EACH PROPOSED PANEL ARRAY.
4. ALL BUILDINGS AND FIXTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE BUILDING CODE. A BUILDING PERMIT SHALL BE OBTAINED BEFORE ANY CONSTRUCTION COMMENCES.
5. BOULDERS ENCOUNTERED DURING THE EXCAVATION AND/ OR DURING GENERAL GRADING FOR SITE DEVELOPMENT SHALL NOT BE LOCATED AT LOCATIONS WHICH MAY PRESENT NEGATIVE VISUAL EFFECTS TO ADJUTING PROPERTIES. BOULDERS ENCOUNTERED IN ARRAY 'C' MAY BE LINED ALONG THE FINISHED GRADES OF THE EDGES OF THE ARRAY. BOULDER STACKING MAY NOT EXCEED 3 FEET AND ALL BOULDERS PLACED MUST BE IN A STABLE POSITION. THE CONTRACTOR MAY ALSO CHOOSE TO DISPOSE OF THE BOULDERS AT AN APPROVED OFFSITE LOCATION.

CONSTRUCTION CONTROL AND SEQUENCE:

- 1.) THE PERIMETER EROSION CONTROL BARRIERS AS SHOWN HEREON DELINEATE THE LIMIT OF WORK AND SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE TOWN'S AGENT AND THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- 2.) FOLLOWING TREE CLEARING AND GRUBBING, THE PROPOSED STORMWATER DETENTION AREAS AND ASSOCIATED PERIMETER BERMS SHALL BE EXCAVATED AND PREPARED AS A CONSTRUCTION PERIOD SEDIMENT BASIN.
- 3.) ANY AREAS DESIGNATED AS TEMPORARY STOCKPILE AREAS SHALL BE PREPARED AND DEFINED WITH EROSION CONTROL BARRIERS ALONG THEIR RESPECTIVE OUTSIDE EDGES. THESE AREAS SHALL BE UTILIZED FOR STOCKPILING OF EXCAVATED MATERIAL, FILL MATERIAL, AND LOAM PILES.
- 6.) UPON COMPLETION OF WORK, DISTURBED GROUND SHALL BE STABILIZED WITH 6 INCHES OF LOAM AND GRASS SEED PLANTING, THAT IS CONSISTENT WITH THE EXISTING GRASS AT THE SITE.
- 7.) THROUGHOUT THE DEVELOPMENT WORK, THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL BARRIERS AT THE BEGINNING AND END OF THE WORK DAY TO ENSURE PROPER FUNCTIONING. THE CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED PORTION OF THE EROSION CONTROL BARRIER BEFORE STARTING/RESUMING CONSTRUCTION. THE EROSION CONTROL BARRIERS SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN SATISFACTORILY STABILIZED AND UNTIL THE FREETOWN CONSERVATION COMMISSION HAS ISSUED A CERTIFICATE OF COMPLIANCE. THE CONSERVATION COMMISSION AND ITS INSPECTOR, ALONG WITH THE DESIGN ENGINEER SHALL CONDUCT PERIODIC INSPECTION OF THE EROSION CONTROL BARRIERS TO MONITOR AND ENSURE THAT THE BARRIERS ARE BEING MAINTAINED IN GOOD WORKING CONDITION, AS WELL AS GROUND STABILIZATION MONITORING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED EROSION CONTROL BARRIERS AND INSTITUTE ADDITIONAL GROUND STABILIZATION MEASURES AS DIRECTED BY THE DESIGN ENGINEER AND/OR THE CONSERVATION COMMISSION AND/OR THE COMMISSION'S AGENT/INSPECTOR.

FIN. GRADE=92.00

100 YEAR FLOOD ELV. = 91.52'
FIN. GRADE=91.50
HIGH GROUNDWATER = 88.84

BASIN C1 SECTION
NOT TO SCALE

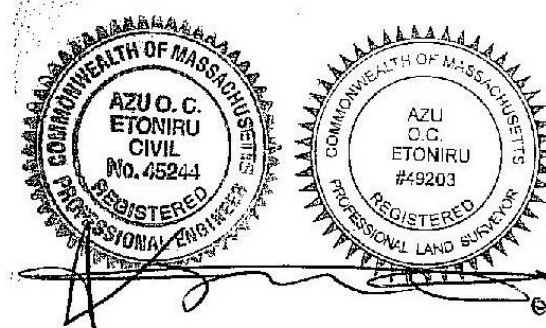
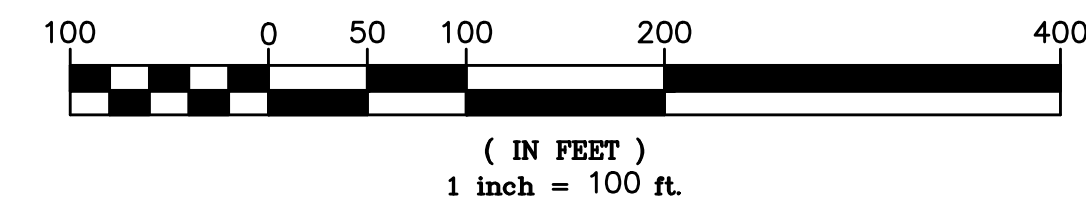
FIN. GRADE=94.00

100 YEAR FLOOD ELV. = 93.70'
FIN. GRADE=93.50
HIGH GROUNDWATER = 90.57
BASIN C2 SECTION
NOT TO SCALE

FIN. GRADE=93.00

100 YEAR FLOOD ELV. = 92.61'
FIN. GRADE=92.50
HIGH GROUNDWATER = 90.18
BASIN C3 SECTION
NOT TO SCALE

GRAPHIC SCALE



ARRAY C

SECTION 1

14,576± SOLAR MODULES
400 WATT PANELS / 5.83MW DC

- PADMOUNTED:
- TRANSFORMER #3 (1,600 KVA)
 - INVERTER #3
 - (5) DC-DC CONVERTERS &
 - (5) BATTERY BANKS
(SEE ONE-LINE)

REGRADING OF ANY LAND WITHIN FLOOD ZONE DELINEATION TO OCCUR AT OR BELOW EXISTING GRADE

MAP: 247
LOT: 005

INSTALL EROSION CONTROL BARRIER, FENCING, AND VEGETATION CLEARING ALONG 25 FT. BUFFER (WHERE WORK APPROACHES 25 FT. BUFFER)

- PADMOUNTED:
- TRANSFORMER #2 (2,750 KVA)
 - INVERTER #2
 - (5) DC-DC CONVERTERS &
 - (5) BATTERY BANKS
(SEE ONE-LINE)

PROPOSED 7' TALL PERIMETER SECURITY CHAIN LINK FENCE, (BOTTOM OF FENCE 6-INCH MINIMUM ABOVE GROUND) TYP.

BOG

PROJECT BENCHMARK SPIKE SET ELEV. = 93.95' NAVD 88

PROPOSED 7' TALL PERIMETER SECURITY CHAIN LINK FENCE, (BOTTOM OF FENCE 6-INCH MINIMUM ABOVE GROUND) TYP.

PROPOSED UNDERGROUND ELECTRICAL CONDUIT

PROPOSED LAND DEVELOPMENT ON MAP 252 LOT 1 AND MAP 247 LOT 5 IS UNDER COMMON OWNERSHIP

PROPOSED LOCKED ACCESS GATE W/ SIGNAGE & EMERGENCY CONTACT INFO.

INSTALL EROSION CONTROL BARRIER, FENCING, AND CLEAR TREES ALONG 200 FT. RIVERFRONT LINE (WHERE WORK APPROACHES 200 FT. FT. AREA)

EXISTING ACCESS ROAD

IMPROVE EXISTING DIRT CART PATHS WHERE NECESSARY WITH 6" DENSE GRADE GRAVEL MIX AND MAINTAIN EXISTING GRADE

MAP: 252
LOT: 001

INSTALL EROSION CONTROL BARRIER ALONG BOTH SIDES OF ACCESS ROAD

INSTALL EROSION CONTROL BARRIER, FENCING, AND VEGETATION CLEARING ALONG 25 FT. BUFFER (WHERE WORK APPROACHES 25 FT. BUFFER)

INSTALL EROSION CONTROL BARRIER, FENCING, AND CLEAR TREES ALONG 200 FT. RIVERFRONT LINE (WHERE WORK APPROACHES 200 FT. FT. AREA)

EXISTING DIRT ACCESS ROAD 16± FEET WIDE

ROADWAY ELEV. = 94.1±
TOP OF CULVERT ELEV. = 91.7±

ROADWAY ELEV. = 92.3±
TOP OF CULVERT ELEV. = 90.0±

PROJECT BENCHMARK SPIKE SET ELEV. = 93.99' NAVD 88

PROPOSED LOCKED ACCESS GATE W/ SIGNAGE & EMERGENCY CONTACT INFO.

BOG

LEGEND	
EXISTING	PROPOSED
BF-211	BF-212
KT-42	KT-43
	BANK LINE
	BORDERING VEGETATED WETLANDS LINE
	FLOODPLAIN LINE
	100' INNER RIPARIAN BOUNDARY
	200' OUTER RIPARIAN BOUNDARY
	25' WETLANDS SETBACK
	50' WETLANDS SETBACK
	100 FT. JURISDICTIONAL LINE
	58' EQUINOX TREE SHADING LINE
	TREE LINE
	CONTOUR
	EROSION CONTROL BARRIER
	SOLAR PANEL TABLE
	TEST PIT LOCATION
	BARB WIRE FENCE
	CHAIN LINK FENCE

FIN. GRADE=95.00

100 YEAR FLOOD ELV. = 94.60'
FIN. GRADE=94.50
HIGH GROUNDWATER = 92.45

BASIN C4 SECTION
NOT TO SCALE

FIN. GRADE=95.00

100 YEAR FLOOD ELV. = 94.11'
FIN. GRADE=94.00
HIGH GROUNDWATER = 91.86

BASIN C5 SECTION
NOT TO SCALE

FIN. GRADE=95.00

100 YEAR FLOOD ELV. = 94.05'
FIN. GRADE=94.00
HIGH GROUNDWATER = 90.88

BASIN C6 SECTION
NOT TO SCALE

TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE :

PROPOSED GRADING, DRAINAGE, AND UTILITES PLAN AREA 'C'

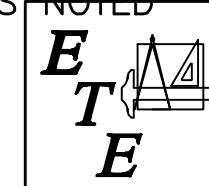
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP 252 LOT 1 & MAP 247, LOT 5)

PREPARED FOR
JUST SOLAR LLC.
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02324

PREPARED BY
E. T. ENGINEERING® ENTERPRISES, INC.
PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS
481 BEDFORD ST. (ROUTES 18 & 28)
BRIDGEWATER, MA 02324-3152

PHONE: 508-697-5215 FAX: 508-697-1451
DATE: OCTOBER 23, 2020 SCALE: AS NOTED
REV: FEBRUARY 23, 2021

PROJECT: 0626-007
DRAWING: ARCH D
FILE: /DWG/0626-007_SITE.DWG



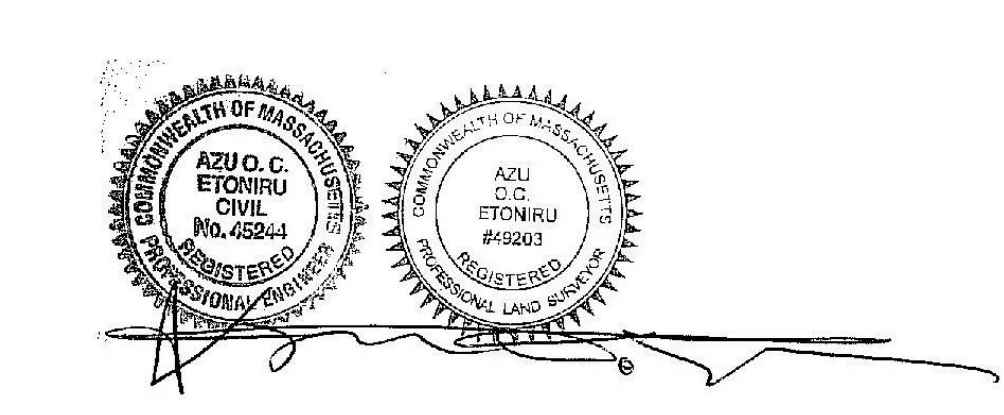
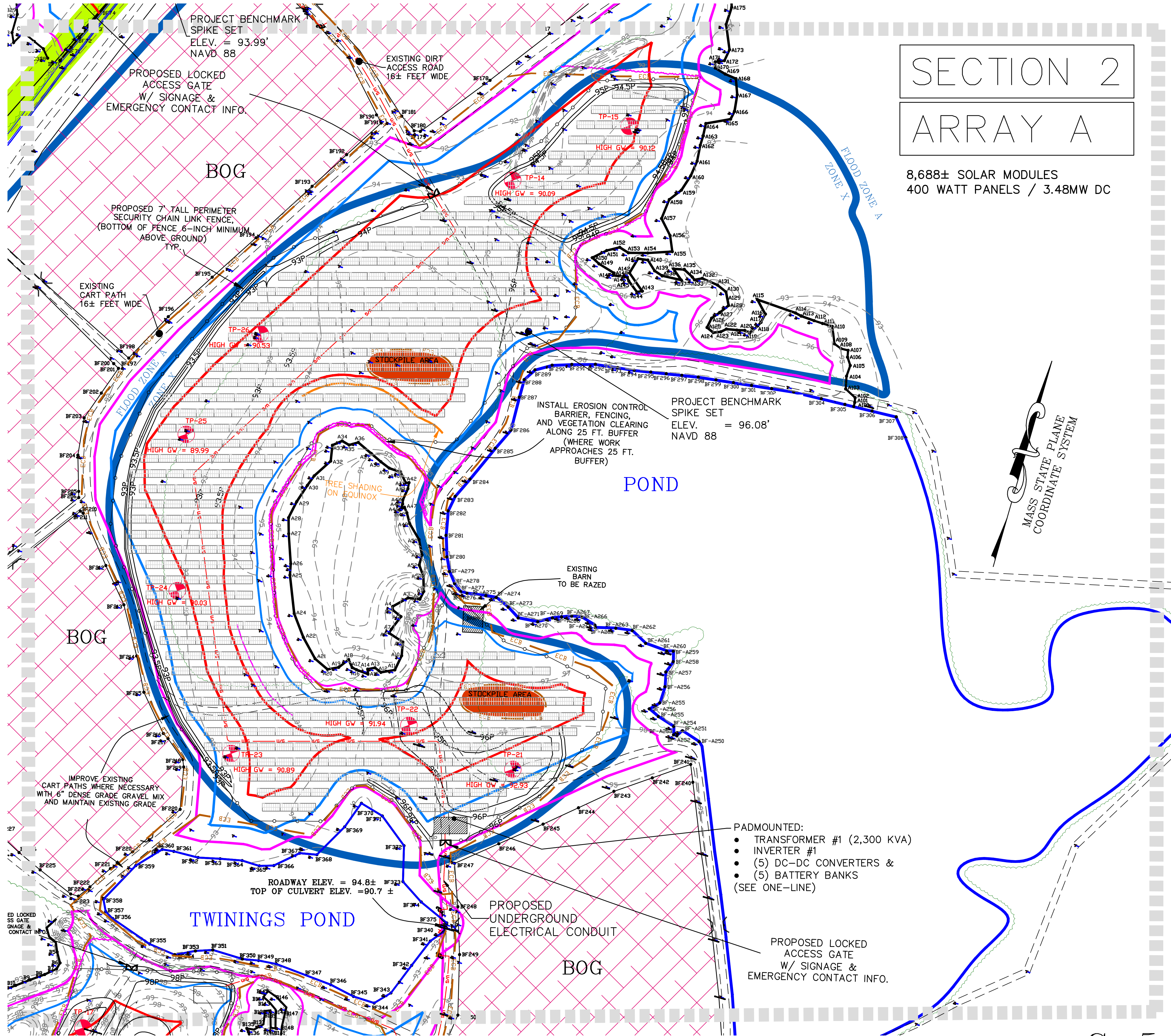
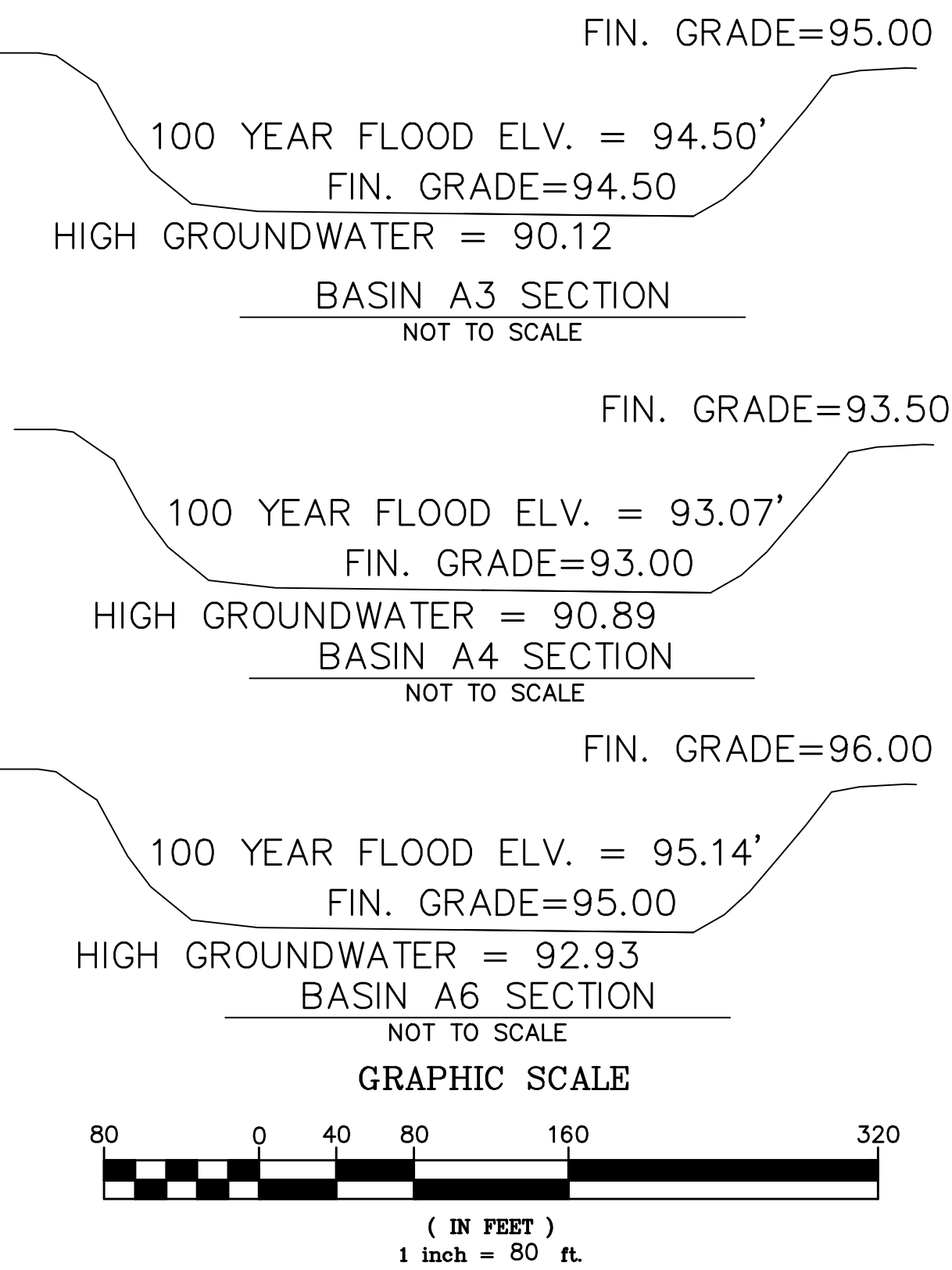
C-4

DESIGN & CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE TOWN OF FREETOWN WATER AND HIGHWAY DEPARTMENTS PRIOR TO COMMENCING ANY EXCAVATION WORK IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PRIVATE OR PUBLIC UNDERGROUND UTILITY WHICH MAY RESULT FROM HIS/HER WORK.
2. THE UTILITY POLES AND OVERHEAD ELECTRIC WIRES SHOWN HEREON ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. A QUALIFIED DESIGNER FAMILIAR WITH UTILITY POLE INSTALLATIONS SHALL PREPARE THE DESIGN FOR THE FINAL LOCATION AND DIMENSIONS OF THE UTILITY POLES ALONG THE INTERCONNECTION ROUTE.
3. A SIGN INDICATING THE SITE OWNER'S NAME AND 24-HOUR EMERGENCY CONTACT TELEPHONE NUMBER SHALL BE PLACED UPON ALL ACCESS GATES AT EACH PROPOSED PANEL ARRAY.
4. ALL BUILDINGS AND FIXTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE BUILDING CODE. A BUILDING PERMIT SHALL BE OBTAINED BEFORE ANY CONSTRUCTION COMMENCES.
5. BOULDERS ARE NOT EXPECTED TO BE ENCOUNTERED WITHIN ARRAY 'A'. IF BOULDERS ARE ENCOUNTERED DURING THE EXCAVATION AND/ OR DURING GENERAL GRADING FOR SITE DEVELOPMENT, THEY SHALL NOT BE LOCATED AT LOCATIONS WHICH MAY PRESENT NEGATIVE VISUAL EFFECTS TO ADJUTING PROPERTIES. BOULDERS ENCOUNTERED IN ARRAY 'A' MAY BE LINED ALONG THE FINISHED GRADES OF THE NORTHERN, EASTERN, AND WESTERN EDGES OF THE ARRAY. BOULDER STACKING MAY NOT EXCEED 3 FEET AND ALL BOULDERS PLACED MUST BE IN A STABLE POSITION. THE CONTRACTOR MAY ALSO CHOOSE TO DISPOSE OF THE BOULDERS AT AN APPROVED OFFSITE LOCATION.

CONSTRUCTION CONTROL AND SEQUENCE:

- 1) THE PERIMETER EROSION CONTROL BARRIERS AS SHOWN HEREON DELINEATE THE LIMIT OF WORK AND SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE TOWN'S AGENT AND THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- 2.) FOLLOWING TREE CLEARING AND GRUBBING, THE PROPOSED STORMWATER DETENTION AREAS AND ASSOCIATED PERIMETER BERMS SHALL BE EXCAVATED AND PREPARED AS A CONSTRUCTION PERIOD SEDIMENT BASIN.
- 3.) ANY AREAS DESIGNATED AS TEMPORARY STOCKPILE AREAS SHALL BE PREPARED AND DEFINED WITH EROSION CONTROL BARRIERS ALONG THEIR RESPECTIVE OUTSIDE EDGES. THESE AREAS SHALL BE UTILIZED FOR STOCKPILING OF EXCAVATED MATERIAL, FILL MATERIAL, AND LOAM PILLS.
- 6.) UPON COMPLETION OF WORK, DISTURBED GROUND SHALL BE STABILIZED WITH 6 INCHES OF LOAM AND GRASS SEED PLANTING, THAT IS CONSISTENT WITH THE EXISTING GRASS AT THE SITE.
- 7.) THROUGHOUT THE DEVELOPMENT WORK, THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL BARRIERS AT THE BEGINNING AND END OF THE WORK DAY TO ENSURE PROPER FUNCTIONING. THE CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED PORTION OF THE EROSION CONTROL BARRIER BEFORE STARTING/RESUMING CONSTRUCTION. THE EROSION CONTROL BARRIERS SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN SATISFACTORILY STABILIZED AND UNTIL THE FREETOWN CONSERVATION COMMISSION HAS ISSUED A CERTIFICATE OF COMPLIANCE. THE CONSERVATION COMMISSION AND ITS INSPECTOR, ALONG WITH THE DESIGN ENGINEER SHALL CONDUCT PERIODIC INSPECTION OF THE EROSION CONTROL BARRIERS TO MONITOR AND ENSURE THAT THE BARRIERS ARE BEING MAINTAINED IN GOOD WORKING CONDITION, AS WELL AS GROUND STABILIZATION MONITORING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED EROSION CONTROL BARRIERS AND INSTITUTE ADDITIONAL GROUND STABILIZATION MEASURES AS DIRECTED BY THE DESIGN ENGINEER AND/OR THE CONSERVATION COMMISSION AND/OR THE COMMISSION'S AGENT/INSPECTOR.



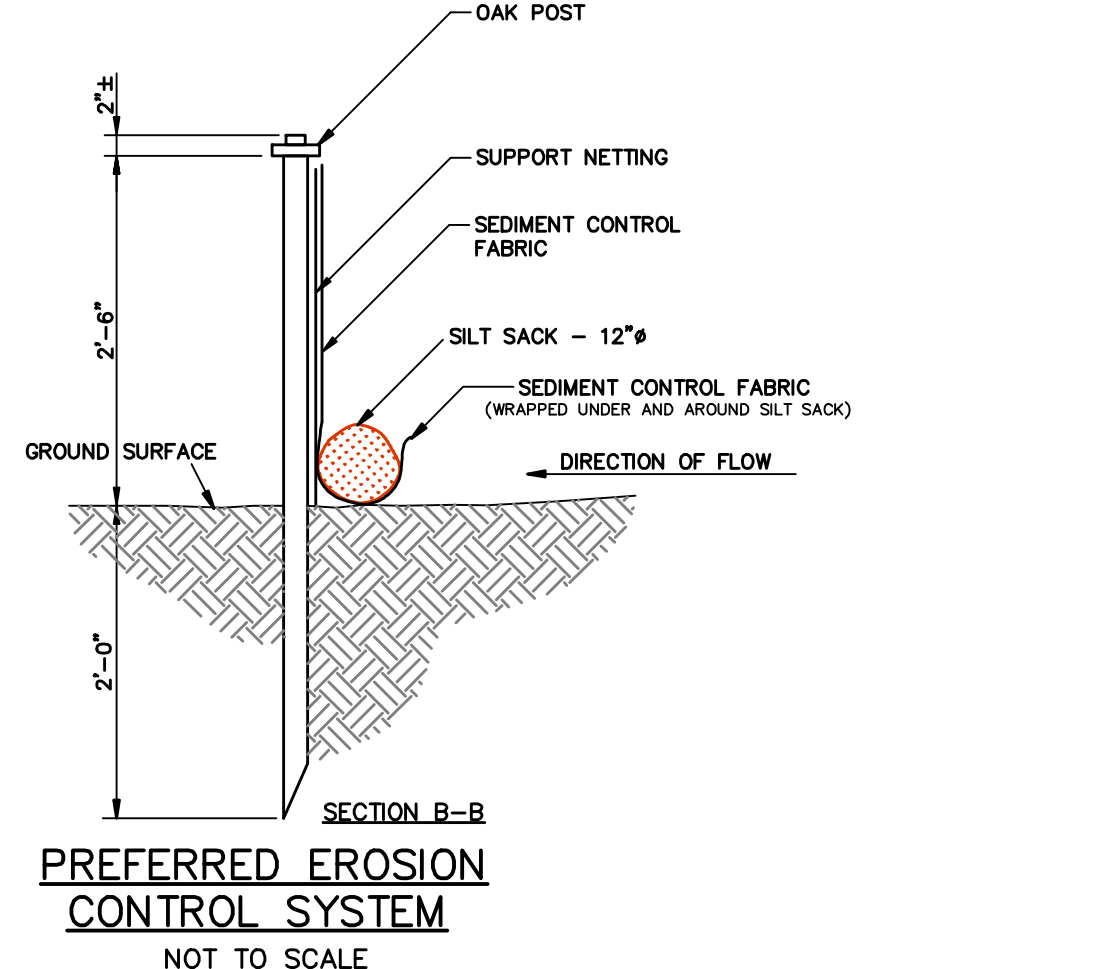
SECTION 2

ARRAY A

8,688± SOLAR MODULES

400 WATT PANELS / 3.48MW DC

LEGEND	
EXISTING	PROPOSED
BF-211	BF-212
KT-42	KT-43
	BANK LINE
	BORDERING VEGETATED WETLANDS LINE
	FLOODPLAIN LINE
	100' INNER RIPARIAN BOUNDARY
	200' OUTER RIPARIAN BOUNDARY
	25' WETLANDS SETBACK
	50' WETLANDS SETBACK
	100 FT. JURISDICTIONAL LINE
	58' EQUINOX TREE SHADING LINE
	TREE LINE
	CONTOUR
	EROSION CONTROL BARRIER
	SOLAR PANEL TABLE
	TEST PIT LOCATION
	BARB WIRE FENCE
	CHAIN LINK FENCE



TOWN OF FREETOWN PLANNING BOARD

SITE PLAN APPROVAL

DATE :

PROPOSED GRADING, DRAINAGE,

AND UTILITES PLAN AREA 'A'

IN

FREETOWN, MA

BRISTOL COUNTY

0 REAR CHIPAWAY ROAD

(ASSESSORS MAP 252, LOT 1

& MAP 247, LOT 5)

PREPARED FOR

JUST SOLAR LLC.

150 JOHN VERTENTE BLVD.

NEW BEDFORD, MA 02324

PREPARED BY

E. T. ENGINEERING® ENTERPRISES, INC.

PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS

AND PROFESSIONAL LAND SURVEYORS

481 BEDFORD ST. (ROUTES 18 & 28)

BRIDGEWATER, MA 02324-3152

PHONE: 508-697-5215 FAX: 508-697-1451

DATE: OCTOBER 23, 2020 SCALE: AS NOTED

REV: FEBRUARY 23, 2021

PROJECT: 0626-007

DRAWING: ARCH D

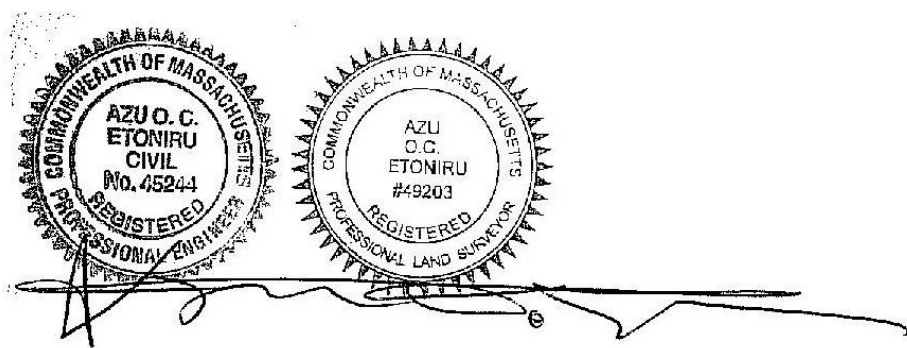
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C-5

E T E

DESIGN & CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE TOWN OF FREETOWN WATER AND HIGHWAY DEPARTMENTS PRIOR TO COMMENCING ANY EXCAVATION WORK IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PRIVATE OR PUBLIC UNDERGROUND UTILITY WHICH MAY RESULT FROM HIS/HER WORK.
2. THE UTILITY POLES AND OVERHEAD ELECTRIC WIRES SHOWN HEREON ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. A QUALIFIED DESIGNER FAMILIAR WITH UTILITY POLE INSTALLATIONS SHALL PREPARE THE DESIGN FOR THE FINAL LOCATION AND DIMENSIONS OF THE UTILITY POLES ALONG THE INTERCONNECTION ROUTE.
3. A SIGN INDICATING THE SITE OWNER'S NAME AND 24-HOUR EMERGENCY CONTACT TELEPHONE NUMBER SHALL BE PLACED UPON ALL ACCESS GATES AT EACH PROPOSED PANEL ARRAY.
4. ALL BUILDINGS AND FIXTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE BUILDING CODE. A BUILDING PERMIT SHALL BE OBTAINED BEFORE ANY CONSTRUCTION COMMENCES.
5. BOULDERS ENCOUNTERED DURING THE EXCAVATION AND/ OR DURING GENERAL GRADING FOR SITE DEVELOPMENT SHALL NOT BE LOCATED AT LOCATIONS WHICH MAY PRESENT NEGATIVE VISUAL EFFECTS TO ADJACENT PROPERTIES. BOULDERS ENCOUNTERED IN ARRAY B MAY BE LINED ALONG THE FINISHED GRADES OF THE NORTHERN AND WESTERN EDGES OF THE ARRAY. BOULDER STACKING MAY NOT EXCEED 3 FEET AND ALL BOULDERS PLACED MUST BE IN A STABLE POSITION. THE CONTRACTOR MAY ALSO CHOOSE TO DISPOSE OF THE BOULDERS AT AN APPROVED OFFSITE LOCATION.



CONSTRUCTION CONTROL AND SEQUENCE:

- 1.) THE PERIMETER EROSION CONTROL BARRIERS AS SHOWN HEREON DELINEATE THE LIMIT OF WORK AND SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE TOWN'S AGENT AND THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- 2.) FOLLOWING TREE CLEARING AND GRUBBING, THE PROPOSED STORMWATER DETENTION AREAS AND ASSOCIATED PERIMETER BERMS SHALL BE EXCAVATED AND PREPARED AS A CONSTRUCTION PERIOD SEDIMENT BASIN.
- 3.) ANY AREAS DESIGNATED AS TEMPORARY STOCKPILE AREAS SHALL BE PREPARED AND DEFINED WITH EROSION CONTROL BARRIERS ALONG THEIR RESPECTIVE OUTSIDE EDGES. THESE AREAS SHALL BE UTILIZED FOR STOCKPILING OF EXCAVATED MATERIAL, FILL MATERIAL, AND LOAM PILES.
- 6.) UPON COMPLETION OF WORK, DISTURBED GROUND SHALL BE STABILIZED WITH 6 INCHES OF LOAM AND GRASS SEED PLANTING, THAT IS CONSISTENT WITH THE EXISTING GRASS AT THE SITE.
- 7.) THROUGHOUT THE DEVELOPMENT WORK, THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL BARRIERS AT THE BEGINNING AND END OF THE WORK DAY TO ENSURE PROPER FUNCTIONING. THE CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED PORTION OF THE EROSION CONTROL BARRIER BEFORE STARTING/RESUMING CONSTRUCTION. THE EROSION CONTROL BARRIERS SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN SATISFACTORILY STABILIZED AND UNTIL THE FREETOWN CONSERVATION COMMISSION HAS ISSUED A CERTIFICATE OF COMPLIANCE. THE CONSERVATION COMMISSION AND ITS INSPECTOR, ALONG WITH THE DESIGN ENGINEER SHALL CONDUCT PERIODIC INSPECTION OF THE EROSION CONTROL BARRIERS TO MONITOR AND ENSURE THAT THE BARRIERS ARE BEING MAINTAINED IN GOOD WORKING CONDITION, AS WELL AS GROUND STABILIZATION MONITORING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED EROSION CONTROL BARRIERS AND INSTITUTE ADDITIONAL GROUND STABILIZATION MEASURES AS DIRECTED BY THE DESIGN ENGINEER AND/OR THE CONSERVATION COMMISSION AND/OR THE COMMISSION'S AGENT/INSPECTOR.

FIN. GRADE=98.00

100 YEAR FLOOD ELV. = 97.01'
FIN. GRADE=97.00

HIGH GROUNDWATER = 93.44
BASIN B1 SECTION
NOT TO SCALE

FIN. GRADE=97.00

100 YEAR FLOOD ELV. = 96.02'
FIN. GRADE=96.00

HIGH GROUNDWATER = 93.74
BASIN B2 SECTION
NOT TO SCALE

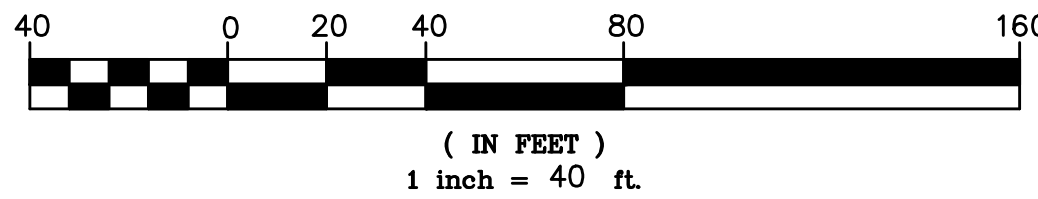
ARRAY B
SECTION 3
2,368± SOLAR MODULES
400 WATT PANELS
0.95MW DC

PROPOSED LOCKED
ACCESS GATE
W/ SIGNAGE &
EMERGENCY CONTACT INFO

PROPOSED 7' TALL PERIMETER
SECURITY CHAIN LINK FENCE,
(BOTTOM OF FENCE 6-INCH MINIMUM
ABOVE GROUND)
TYP.

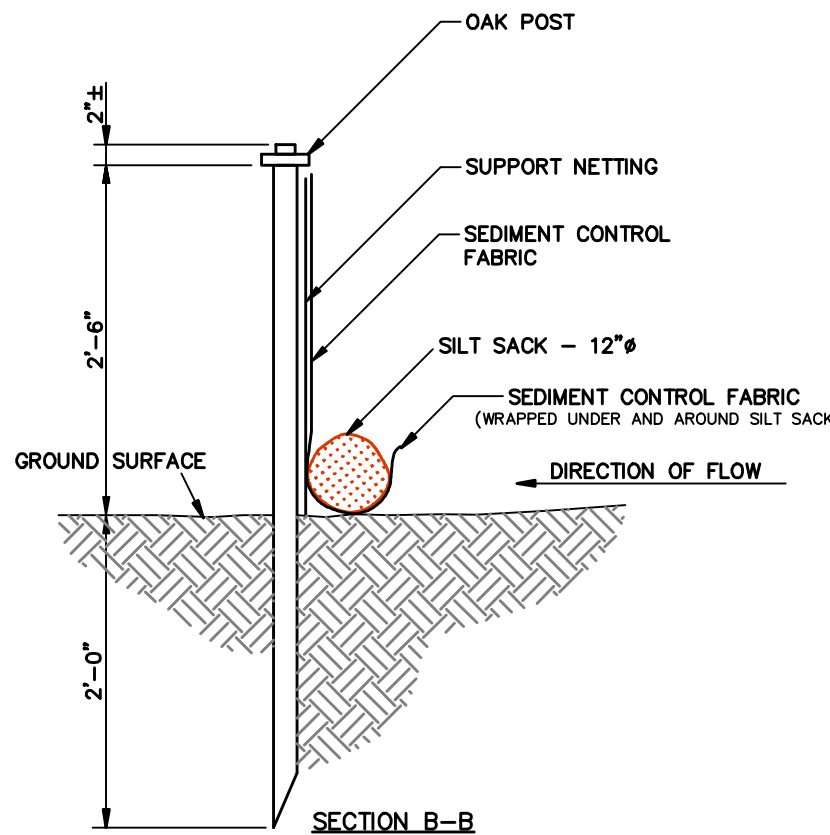
PROJECT BENCHMARK
SPIKE SET
ELEV. = 103.13'
NAVD 88

GRAPHIC SCALE



TWININGS POND

LEGEND	
EXISTING	PROPOSED
BF-211	BF-212
KT-42	KT-43
	BANK LINE
	BORDERING VEGETATED WETLANDS LINE
	FLOODPLAIN LINE
	100' INNER RIPARIAN BOUNDARY
	200' OUTER RIPARIAN BOUNDARY
	25' WETLANDS SETBACK
	50' WETLANDS SETBACK
	100 FT. JURISDICTIONAL LINE
	58' EQUINOX TREE SHADING LINE
	TREE LINE
	CONTOUR
	EROSION CONTROL BARRIER
	SOLAR PANEL TABLE
	TEST PIT LOCATION
	BARB WIRE FENCE
	CHAIN LINK FENCE



PREFERRED EROSION CONTROL SYSTEM
NOT TO SCALE

TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE :

PROPOSED GRADING, DRAINAGE,
AND UTILITES PLAN AREA 'B'

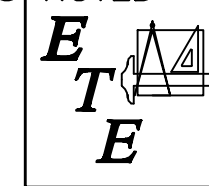
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP 252 LOT 1
& MAP 247, LOT 5)

PREPARED FOR
JUST SOLAR LLC.
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02324

PREPARED BY
E. T. ENGINEERING® ENTERPRISES, INC.
PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS
481 BEDFORD ST. (ROUTES 18 & 28)
BRIDGEWATER, MA 02324-3152

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PROJECT: 0626-007
DRAWING: ARCH D
FILE: /DWG/0626-007_SITE.DWG



C-6

DESIGN & CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE TOWN OF FREETOWN WATER AND HIGHWAY DEPARTMENTS PRIOR TO COMMENCING ANY EXCAVATION WORK IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PRIVATE OR PUBLIC UNDERGROUND UTILITY WHICH MAY RESULT FROM HIS/HER WORK.
2. THE UTILITY POLES AND OVERHEAD ELECTRIC WIRES SHOWN HEREON ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. A QUALIFIED DESIGNER FAMILIAR WITH UTILITY POLE INSTALLATIONS SHALL PREPARE THE DESIGN FOR THE FINAL LOCATION AND DIMENSIONS OF THE UTILITY POLES ALONG THE INTERCONNECTION ROUTE.
3. ALL BUILDINGS AND FIXTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE BUILDING CODE. A BUILDING PERMIT SHALL BE OBTAINED BEFORE ANY CONSTRUCTION COMMENCES.
4. BOULDERS ENCOUNTERED DURING THE EXCAVATION FOR UNDERGROUND ELECTRICAL CONDUITS MAY NOT BE USED AS BACKFILL. BOULDERS SHALL NOT BE LOCATED AT LOCATIONS WHICH MAY PRESENT NEGATIVE VISUAL EFFECTS TO ADJUTING PROPERTIES. BOULDERS MUST BE RELOCATED TO ONE OR MORE OF THE DESIGNATED LOCATIONS SURROUNDING THE SOLAR ARRAYS. THE CONTRACTOR MAY ALSO CHOOSE TO DISPOSE OF THE BOULDERS AT AN APPROVED OFFSITE LOCATION.

CONSTRUCTION CONTROL AND SEQUENCE:

- 1) THE PERIMETER EROSION CONTROL BARRIERS AS SHOWN HEREON DELINEATE THE LIMIT OF WORK AND SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE TOWN'S AGENT AND THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- 2) TREE TRIMMING ALONG THE INTERCONNECTION ROUTE CAN COMMENCE FOLLOWING THE INSTALLATION OF THE EROSION CONTROLS. IN AREAS WHERE THE INTERCONNECTION ROUTE CONSISTS OF UNDERGROUND CONDUITS, TRIMMING OF TREE LIMBS OR CLEARING OF BRUSH THAT OVERHANG THE RIGHT OF WAY IS LIMITED TO A MAXIMUM HEIGHT OF 15 FEET TO ALLOW CONSTRUCTION VEHICLES TO PASS.
- 3) IN AREAS WHERE THE INTERCONNECTION ROUTE CONSISTS OF OVERHEAD WIRING, TRIMMING OF TREE LIMBS OR CLEARING OF BRUSH THAT OVERHANG THE RIGHT OF WAY IS LIMITED TO A MAXIMUM HEIGHT OF 35 FEET TO ALLOW CONSTRUCTION AND ROUTING OF THE UTILITY POLES AND OVERHEAD WIRING.
- 4.)THE ENTRANCE TO THE SITE OFF CHIPAWAY ROAD SHALL BE STABILIZED WITH A TEMPORARY STONE APRON (SEE DETAIL). THE TEMPORARY EROSION CONTROL BARRIERS AT THE FRONT ENTRANCE SHALL BE RESET AT THE END OF THE WORK DAY TO MINIMIZE SEDIMENT BUILD UP. THE TEMPORARY STONE APRON SHALL BE INSTALLED OVER NON-WOVEN GEOTEXTILE FABRIC PLACED BETWEEN THE ACCESS GRAVEL AND THE EXISTING BARE GROUND. THE SURFACE STONES SHALL BE REPLACED AS OFTEN AS IS NECESSARY IN ORDER TO MINIMIZE BUILDUP OF EXPOSED SOILS TRACKED BY THE TIRES.
- 6.) UPON COMPLETION OF WORK, DISTURBED AREAS OUTSIDE OF THE CART PATHS SHALL BE STABILIZED WITH 6 INCHES OF LOAM AND GRASS SEED PLANTING, THAT IS CONSISTENT WITH THE EXISTING GRASS AT THE SITE. DENSE GRADE GRAVEL SHALL BE COMPACTED OVER AREAS WHERE THE EXISTING CART PATHS WERE DISTURBED.
- 7.) THROUGHOUT THE DEVELOPMENT WORK, THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL BARRIERS AT THE BEGINNING AND END OF THE WORK DAY TO ENSURE PROPER FUNCTIONING. THE CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED PORTION OF THE EROSION CONTROL BARRIER BEFORE STARTING/RESUMING CONSTRUCTION. THE EROSION CONTROL BARRIERS SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN SATISFACTORILY STABILIZED AND UNTIL THE FREETOWN CONSERVATION COMMISSION HAS ISSUED A CERTIFICATE OF COMPLIANCE. THE CONSERVATION COMMISSION AND ITS INSPECTOR, ALONG WITH THE DESIGN ENGINEER SHALL CONDUCT PERIODIC INSPECTION OF THE EROSION CONTROL BARRIERS TO MONITOR AND ENSURE THAT THE BARRIERS ARE BEING MAINTAINED IN GOOD WORKING CONDITION, AS WELL AS GROUND STABILIZATION MONITORING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED EROSION CONTROL BARRIERS AND INSTITUTE ADDITIONAL GROUND STABILIZATION MEASURES AS DIRECTED BY THE DESIGN ENGINEER AND/OR THE CONSERVATION COMMISSION AND/OR THE COMMISSION'S AGENT/INSPECTOR.

ARRAY B
SECTION 3
2,368± SOLAR MODULES
400 WATT PANELS
0.95MW DC

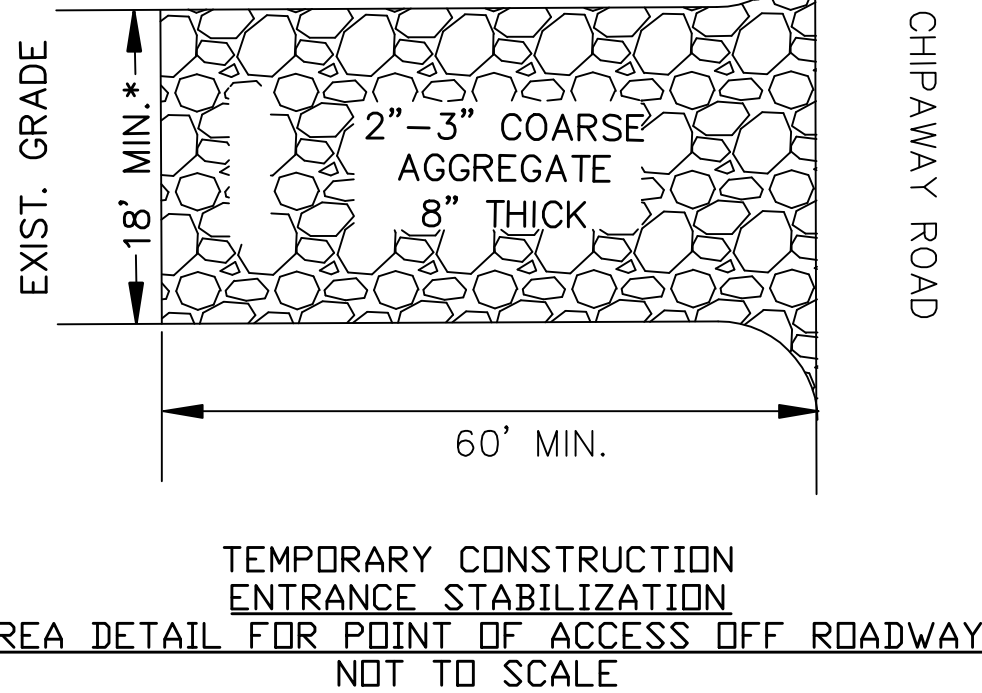
TWININGS POND

PROPOSED
UNDERGROUND
ELECTRICAL CONDUIT

BOG

- (5) DC-DC CONVERTERS &
- (5) BATTERY BANKS
(SEE ONE-LINE)

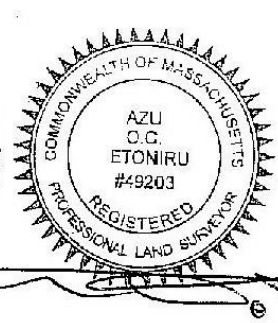
PROPOSED LOCKED
ACCESS GATE
W/ SIGNAGE &
EMERGENCY CONTACT INFO.



LEGEND	
EXISTING	PROPOSED
BF-211	BANK LINE
KT-42	BORDERING VEGETATED WETLANDS LINE
	FLOODPLAIN LINE
	100' INNER RIPARIAN BOUNDARY
	200' OUTER RIPARIAN BOUNDARY
	25' WETLANDS SETBACK
	50' WETLANDS SETBACK
	100 FT. JURISDICTIONAL LINE
	58' EQUINOX TREE SHADING LINE
	TREE LINE
	CONTOUR
	EROSION CONTROL BARRIER
	SOLAR PANEL TABLE
	TEST PIT LOCATION
	BARB WIRE FENCE
	CHAIN LINK FENCE

TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE :

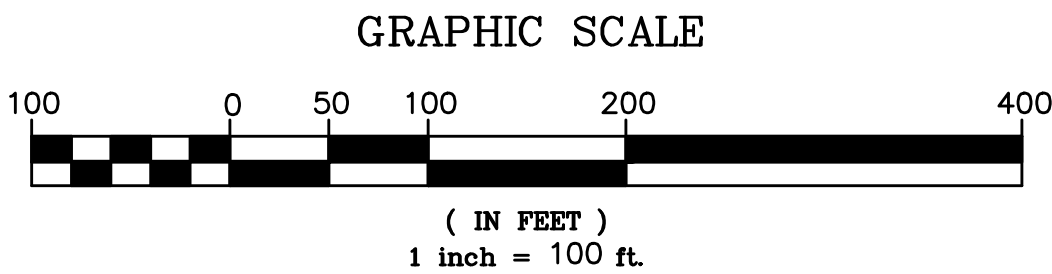
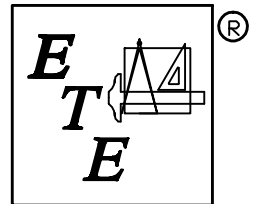


INTERCONNECTION ROUTE ACROSS
MAP 252 LOT 19
TO CHIPAWAY ROAD
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP MAP 252,
LOT 001, MAP 247, LOT 005)

PREPARED FOR
JUST SOLAR LLC.
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02324

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C-7

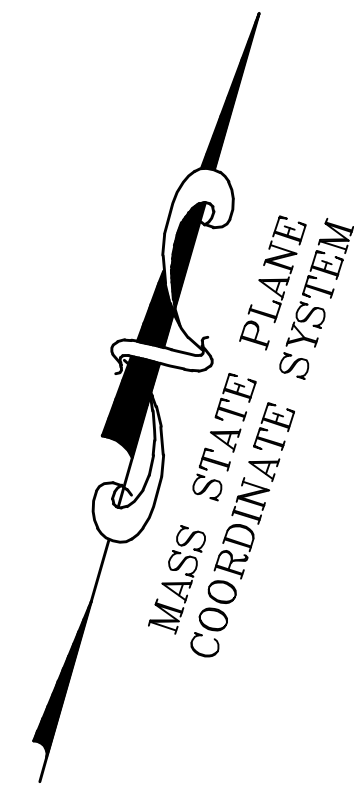
LEGEND

EXISTING	PROPOSED
BF-211	BF-212
KT-42	KT-43
BORDERING VEGETATED WETLANDS LINE	
FLOODPLAIN LINE	
100' INNER RIPARIAN BOUNDARY	
200' OUTER RIPARIAN BOUNDARY	
25' WETLANDS SETBACK	
50' WETLANDS SETBACK	
100 FT. JURISDICTIONAL LINE	
58' EQUINOX TREE SHADING LINE	
TREE LINE	
CONTOUR	
EROSION CONTROL BARRIER	
SOLAR PANEL TABLE	
TEST PIT LOCATION	
BARE WIRE FENCE	
CHAIN LINK FENCE	

ARRAY C

SECTION 1

14,576± SOLAR MODULES
400 WATT PANELS / 5.83MW DC

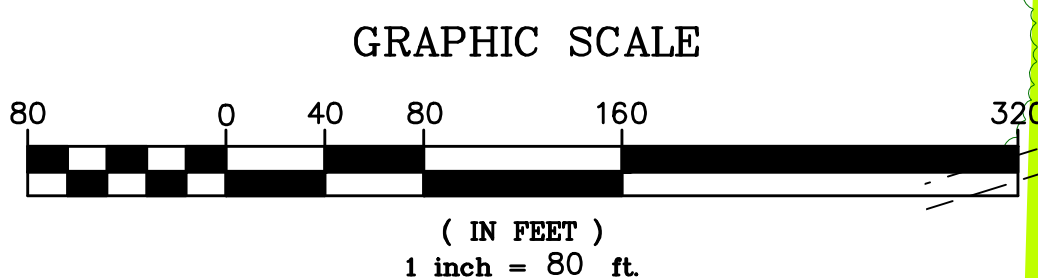
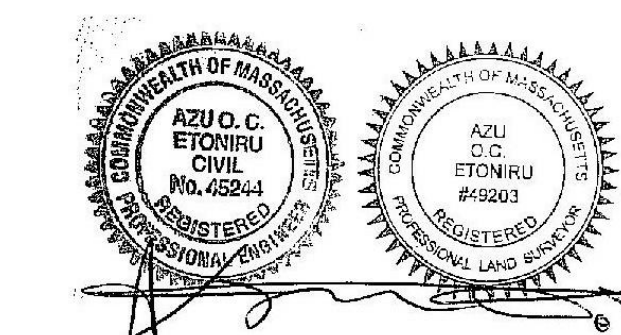


POND

POND

REGRAVING OF ANY LAND WITHIN FLOOD ZONE DELINEATION TO OCCUR AT OR BELOW EXISTING GRADE

NOTE:
THE AREA WITHIN THE PRE-DEVELOPMENT SUBCATCHMENT FOR EACH PANEL ARRAY ENCOMPASSES THE ENTIRETY OF THE COMBINED POST-DEVELOPMENT SUBCATCHMENTS AS DELINEATED BY THE DASHED RED LINES AROUND THE PERIMETER OF EACH ARRAY. THEREFORE, THE PRE-DEVELOPMENT AND POST-DEVELOPMENT AREAS BEING COMPARED ARE IDENTICALLY SIZED.



PROPOSED 7' TALL PERIMETER SECURITY CHAIN LINK FENCE, (BOTTOM OF FENCE 6-INCH MINIMUM ABOVE GROUND)

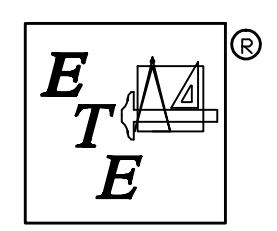
BOG

WATER SHED PLAN AREA 'C'
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP 252 LOT 1
& MAP 247, LOT 5)

PREPARED FOR
JUST SOLAR LLC.
150 JOHN VERTENTE BLVD.
NEW BEDFORD, MA 02324

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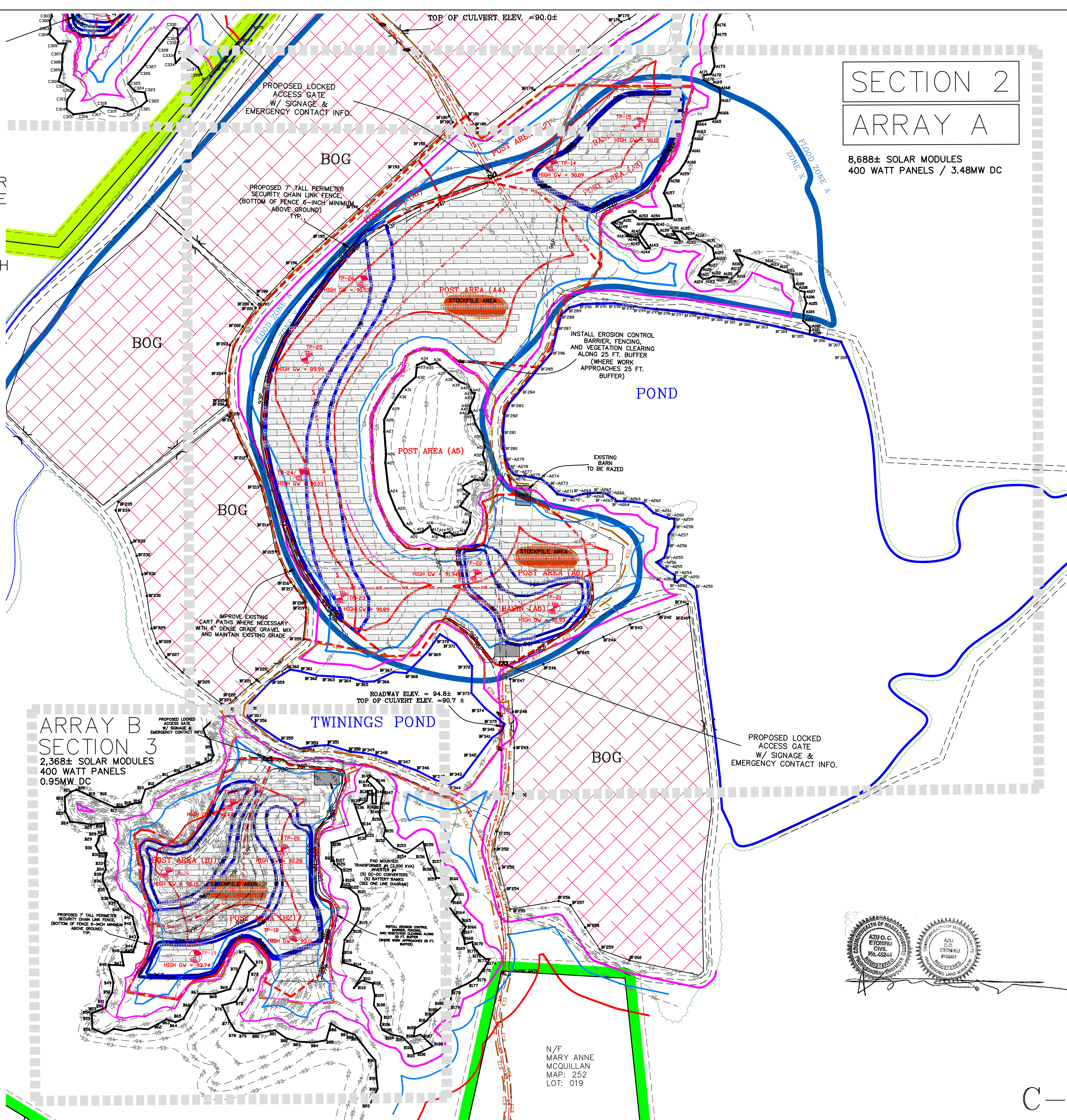
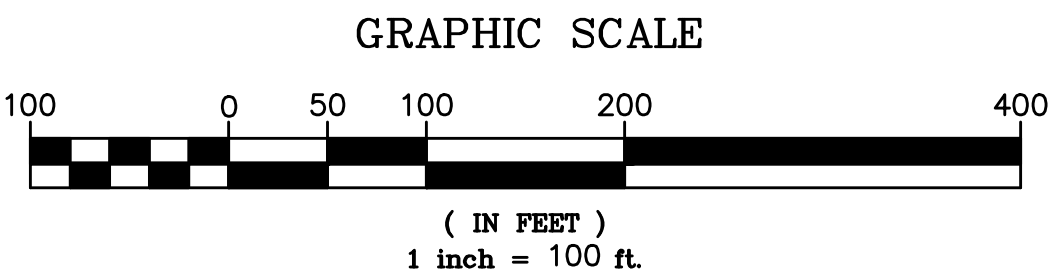
PROJECT: 0626-007
DRAWING: ARCH D
FILE: /DWG/0626-007_SITE.DWG



C-8

NOTE:
THE AREA WITHIN THE
PRE-DEVELOPMENT SUBCATCHMENT FOR
EACH PANEL ARRAY ENCOMPASSES THE
ENTIRETY OF THE COMBINED
POST-DEVELOPMENT SUBCATCHMENTS
AS DELINEATED BY THE DASHED RED
LINES AROUND THE PERIMETER OF EACH
ARRAY. THEREFORE, THE
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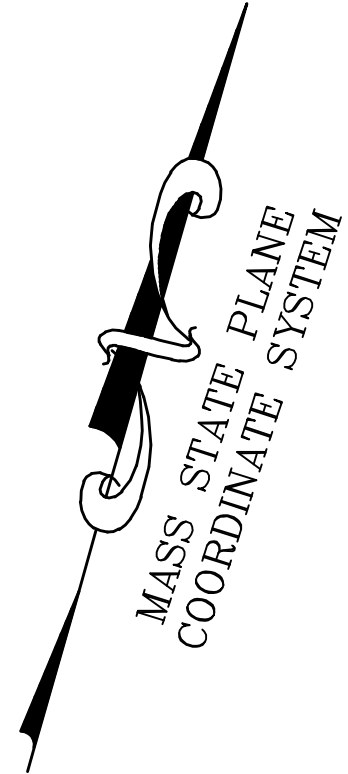
LEGEND	
EXISTING	PROPOSED
BF-211 BF-212	BANK LINE
KT-42 KT-43	BORDERING VEGETATED WETLANDS LINE
	FLOODPLAIN LINE
	100' INNER RIPARIAN BOUNDARY
	200' OUTER RIPARIAN BOUNDARY
	25' WETLANDS SETBACK
	50' WETLANDS SETBACK
	100 FT. JURISDICTIONAL LINE
	58' EQUINOX TREE SHADING LINE
	TREE LINE
	CONTOUR
	EROSION CONTROL BARRIER
	SOLAR PANEL TABLE
	TEST PIT LOCATION
	BARB WIRE FENCE
	CHAIN LINK FENCE



SECTION 2

ARRAY A

8,688± SOLAR MODULES
400 WATT PANELS / 3.48MW DC



TOWN OF FREETOWN PLANNING BOARD
SITE PLAN APPROVAL

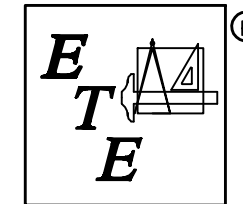
DATE :

WATERSHED PLAN AREAS 'A' & 'B'
IN
FREETOWN, MA
BRISTOL COUNTY
0 REAR CHIPAWAY ROAD
(ASSESSORS MAP 252 LOT 1
& MAP 247, LOT 5)

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